



City of Portland, Oregon
Bureau of Development Services
Land Use Services

FROM CONCEPT TO CONSTRUCTION

Dan Saltzman, Commissioner
Paul L. Scarlett, Director
Phone: (503) 823-7300
Fax: (503) 823-5630
TTY: (503) 823-6868
www.portlandoregon.gov/bds

Date: October 17, 2016
To: Interested Person
From: Puja Bhutani, Land Use Services
503-823-7226 / Puja.Bhutani@portlandoregon.gov

NOTICE OF A TYPE II PROPOSAL IN YOUR NEIGHBORHOOD

Development has been proposed in your neighborhood. The proposed development requires a land use review. The proposal, review process, and information on how to respond to this notice are described below. A copy of the site plan and zoning map is attached. I am the staff person handling the case. Please call me if you have questions regarding this proposal. Please contact the applicant if you have questions regarding any future development on the site.

Because we must publish our decision within 28 days, **we need to receive your written comments by 5 p.m. on November 7, 2016.** Please mail or deliver your comments to the address at the bottom of the page, and include the Case File Number, LU 16-181208 HR, in your letter. It also is helpful to address your letter to me, Puja Bhutani. You can also e-mail your comments to me at my e-mail address identified above.

CASE FILE NUMBER: LU 16-181208 HR – REAR ADDITION

Applicant: Rich Farrington, Applicant
Rich Farrington, Architect
415 N State Street, #134
Lake Oswego, OR 97034

Jan M Cleiland, Owner
3140 NE 19th Avenue
Portland, OR 97212

Site Address: 3140 NE 19TH AVENUE
Legal Description: BLOCK 30 N 1/2 OF LOT 14 S 35' OF LOT 15, IRVINGTON
Tax Account No.: R420406490
State ID No.: 1N1E26AA 08900
Quarter Section: 2789

Neighborhood: Sabin Community Association, contact Rachel Lee at 503-964-8417./
Irvington, contact Dean Gisvold at 503-284-3885.

Business District: North-Northeast Business Assoc, contact at chair@nnebaportland.org
District Coalition: Northeast Coalition of Neighborhoods, contact Zena Rockowitz at 503-388-5070.

Other Designations: Contributing Resource in the Irvington Historic District

Zoning: R5, Single Family Residential 5000

Case Type: HR, Historic Resource Review

Procedure: Type II, an administrative decision with appeal to the Landmarks Commission.

Proposal:

The proposed exterior alterations to the existing residence in the Irvington Historic District include:

- A one-story, approximately 150 sqft rear addition to the existing residence in the Irvington Historic District. The new roof and lap siding for the addition will match that of the existing house. The addition includes five (5) painted double hung windows with divided lites in the upper sash, two (2) new French doors with full divided lites and wall sconces. The existing bay window, French door, and steps on the rear elevation will be demolished.
- Replace an existing wood double hung window on the south elevation with two new wood double hung windows with divided lites on the upper sash.
- A raised terrace with concrete walls and low planters with concrete curb.

Historic Resource Review is required because the proposal is for non exempt new construction in the Irvington Historic District.

Relevant Approval Criteria:

In order to be approved, this proposal must comply with the approval criteria of Title 33. The relevant criteria are:

- Section 33.846.060 Other Approval Criteria

Zoning Code Section 33.700.080 states that Land Use Review applications are reviewed under the regulations in effect at the time the application was submitted, provided that the application is complete at the time of submittal or complete within 180 days. This application was submitted on June 1, 2016 and determined to be complete on October 10, 2016.

DECISION MAKING PROCESS

The Bureau of Development Services will make a decision on this proposal. We will consider your comments, and

- Approve the proposal.
- Approve the proposal with conditions.
- Deny the proposal.

The neighborhood association listed on the first page of this notice may take a position on this application. They may also schedule an open meeting prior to making their recommendation to the Bureau of Development Services. Please contact the person listed as the neighborhood contact to determine the time and date of this meeting.

ORS 227.178 states the City must issue a final decision on Land Use Review applications within 120-days of the application being deemed complete. The 120-day review period may be extended at the request of the applicant.

The file and all evidence on this case are available for your review by appointment only. Please call the Request Line at our office, 1900 SW Fourth Avenue, Suite 5000, phone 503-823-7617, to schedule an appointment. I can provide some information over the phone. Copies of all information in the file can be obtained for a fee equal to the cost of services. Additional information about the City of Portland, city bureaus, and a digital copy of the Portland Zoning Code is available on the internet at www.portlandonline.com.

APPEAL PROCESS

If you disagree with the Bureau of Development Services administrative decision, you can appeal the decision to the Landmarks Commission. This review body will hold a public hearing for the appeal. When the decision is mailed, the criteria used to make the decision and information on how to file an appeal will be included. If you do not send any comments, you can still appeal the decision. There is a 14-day deadline to file an appeal beginning on the day the decision is mailed. The reason for the appeal must be specifically defined in order for the

review body to respond to the appeal. If an appeal is filed, you will be notified of the time and location of the appeal hearing.

There is a fee charged for appeals. Recognized neighborhood associations may qualify for an appeal fee waiver.

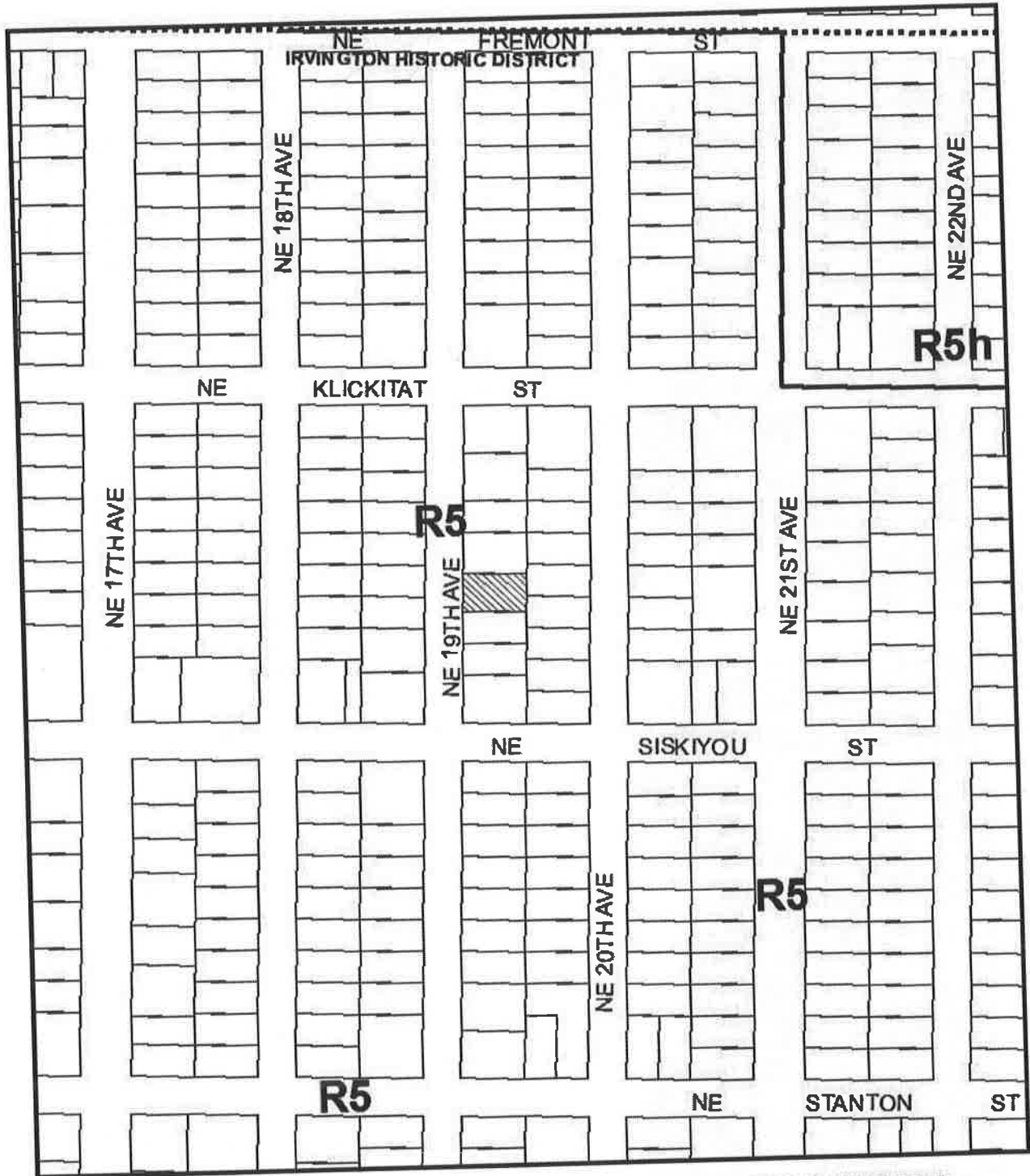
APPEAL OF THE FINAL CITY DECISION

After an appeal hearing, the review body decision may be appealed to the Oregon Land Use Board of Appeals (LUBA) at 775 Summer St NE, Suite 330, Salem, Oregon 97301-1283. The phone number for LUBA is 1-503-373-1265. Issues that may provide the basis for an appeal to LUBA must be raised prior to the comment deadline or prior to the conclusion of the hearing if a local appeal is requested. If you do not raise an issue with enough specificity to give the Bureau of Development Services an opportunity to respond to it, that may also preclude an appeal to LUBA on that issue.

The Bureau of Development Services is committed to providing equal access to information and hearings. Please notify us no less than five business days prior to the event if you need special accommodations. Call 503-823-7300 (TTY 503-823-6868).

Enclosures:

Zoning Map
Site Plan
Rear Elevations



ZONING



This site lies within the:
IRVINGTON HISTORIC DISTRICT

Site

File No. LU 16-181208 HR
 1/4 Section 2732
 Scale 1 inch = 200 feet
 State_Id 1N1E26AA 8900
 Exhibit B (Jun 03, 2016)

SITE/LOT/BUILDING/ZONING INFORMATION:

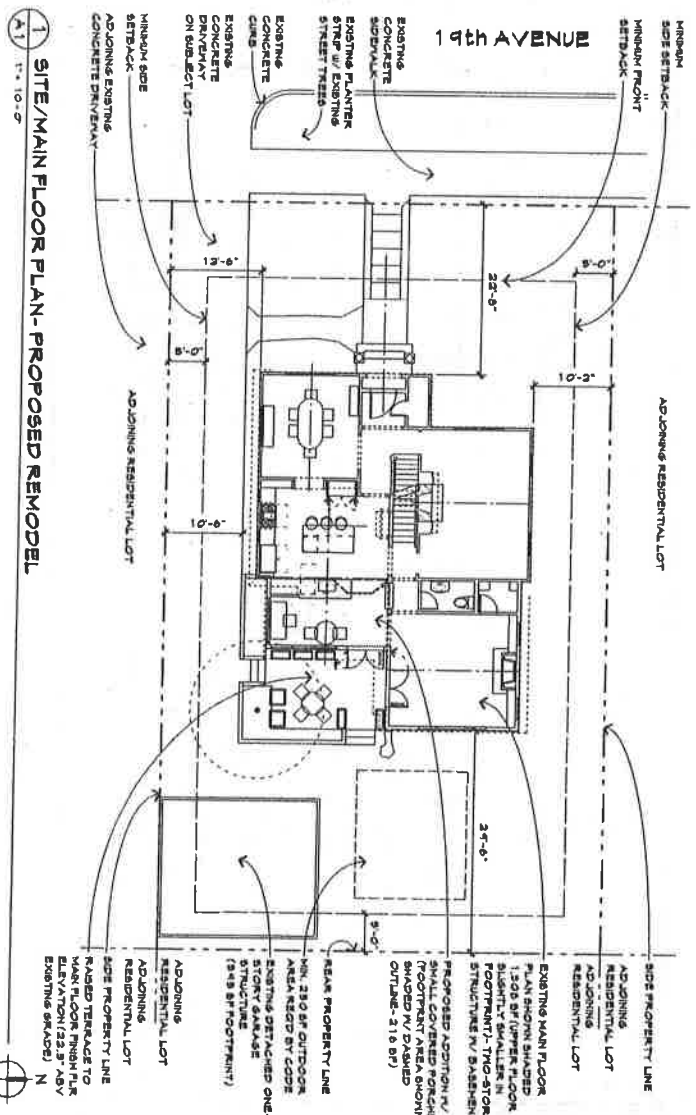
ZONE (CITY OF PORTLAND):
 ZONE: R-4
MINIMUM FRONT SETBACK: 5.0 FT. MINIMUM REQUIRED
MINIMUM SIDE SETBACK: 5.0 FT. MINIMUM REQUIRED
MINIMUM REAR SETBACK: 10.0 FT. MINIMUM REQUIRED
MINIMUM REAR YARD: 9.0 FT. MINIMUM REQUIRED
MINIMUM FRONT YARD: 9.0 FT. MINIMUM REQUIRED
EXISTING LOT AREA: 6,200 SF
MAX. BUILDING COVERAGE: 3,280 (-1.18 X 1,000) = 2,400 SF
PROPERTY ADDRESS:
 3140 NE 19th Avenue
 PORTLAND OREGON 97212

SUBJECT LOT:
 LOT 14 AND 30N 58' R OF LOT 18,
 REAR 100' OF TRACT OF 10N 24N 50N
EXISTING BUILDING COVERAGE: 5X, PRIMARY STRUCTURE: 1,003 SF
EXISTING LOT AREA: 6,200 SF
EXISTING LOT AREA INCLUDING COVERED PORCHES: 5,188 SF
TOTAL PROPOSED BUILDING COVERAGE: 2,118 SF
 1,518 SF

PROPOSED ZONING DIMENSIONS:

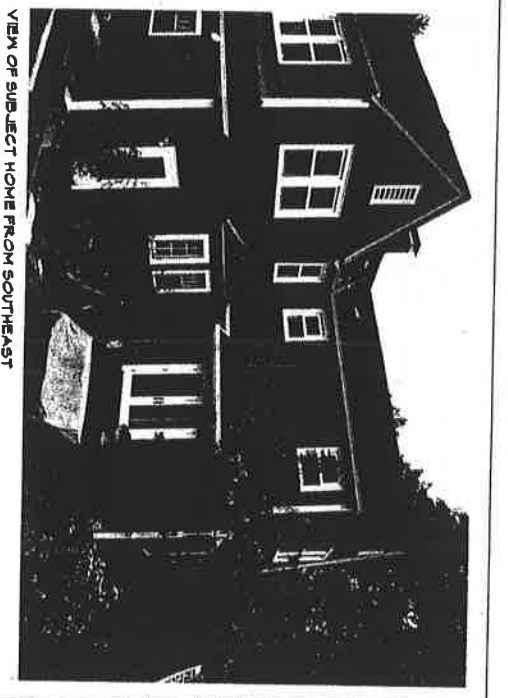
MINIMUM FRONT SETBACK: 5.0 FT. MINIMUM REQUIRED
MINIMUM SIDE SETBACK: 5.0 FT. MINIMUM REQUIRED
MINIMUM REAR SETBACK: 10.0 FT. MINIMUM REQUIRED
MINIMUM REAR YARD: 9.0 FT. MINIMUM REQUIRED
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EXISTING BUILDING COVERAGE: 5X, PRIMARY STRUCTURE: 1,003 SF
EXISTING LOT AREA: 6,200 SF
EXISTING LOT AREA INCLUDING COVERED PORCHES: 5,188 SF
TOTAL PROPOSED BUILDING COVERAGE: 2,118 SF
 1,518 SF

19th AVENUE



NO.	DATE	REVISION
1	9/12/16	ISSUE FOR PERMITS
2	9/21/16	REVISED PERMITS

CLEILAND RESIDENTIAL REMODEL
 3140 NE 19th AVENUE PORTLAND, OREGON 97212
 OWNER: Jan Cleiland

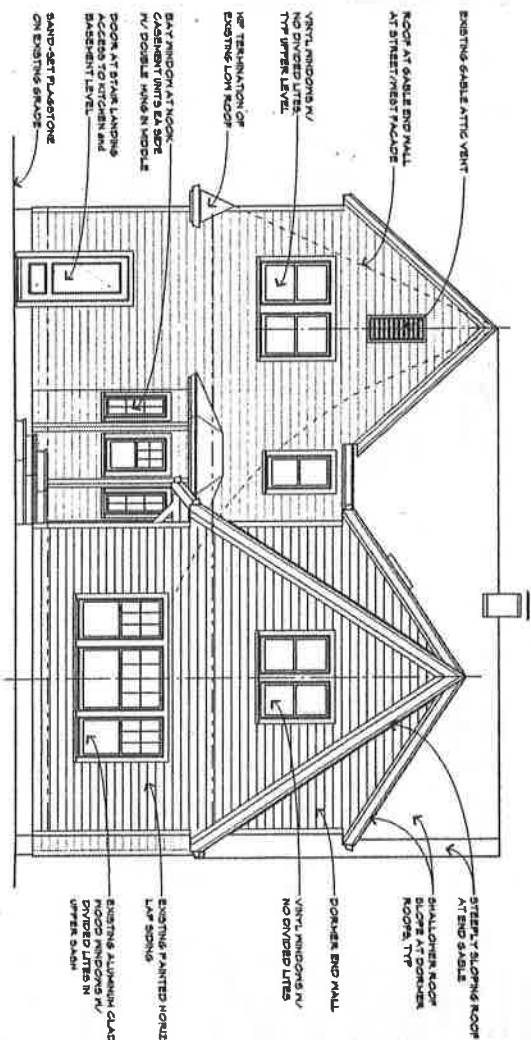


STREET VIEW OF SUBJECT HOME FROM 19th AVENUE (WEST ELEVATION)

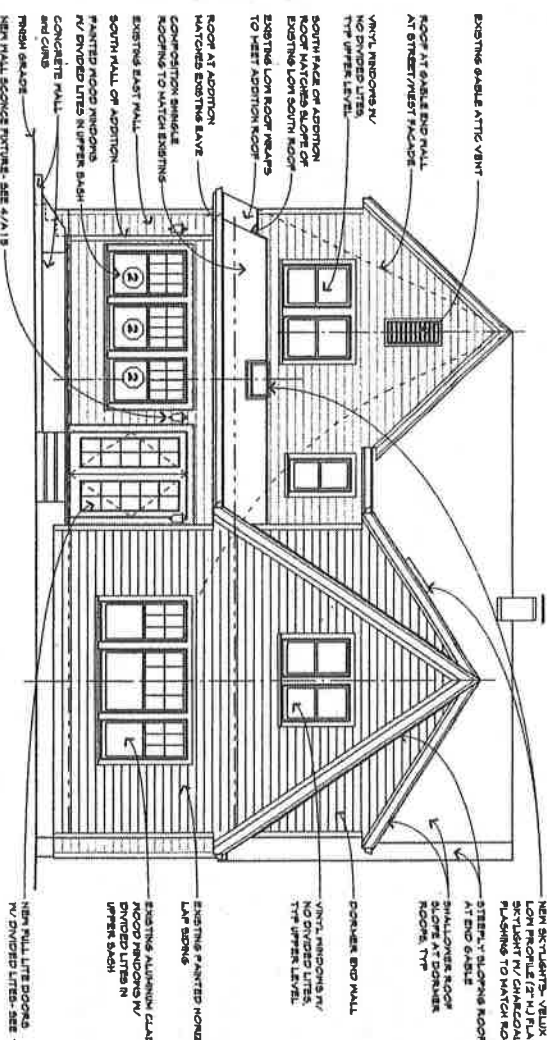
VIEW OF SUBJECT HOME FROM SOUTHEAST

<p>PROJECT: 3140 NE 19th Avenue PORTLAND, OREGON 97212</p>	<p>DATE: 9/12/16</p>
<p>REVISIONS:</p>	<p>DATE:</p>
<p>NO.:</p>	<p>DATE:</p>
<p>1:</p>	<p>9/12/16</p>
<p>2:</p>	<p>9/21/16</p>

A 1



1 EAST ELEVATION @ rear yard/ EXISTING CONDITIONS
 A13 1/8" = 1'-0"

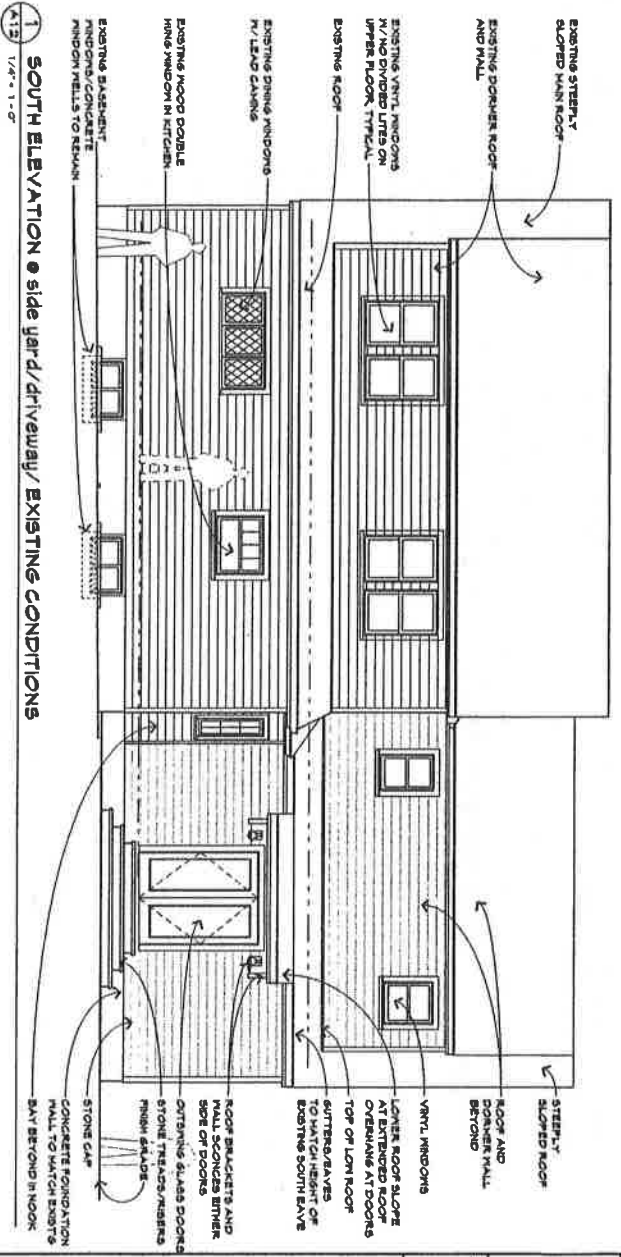


2 EAST ELEVATION @ rear yard/ PROPOSED
 A13 1/8" = 1'-0"

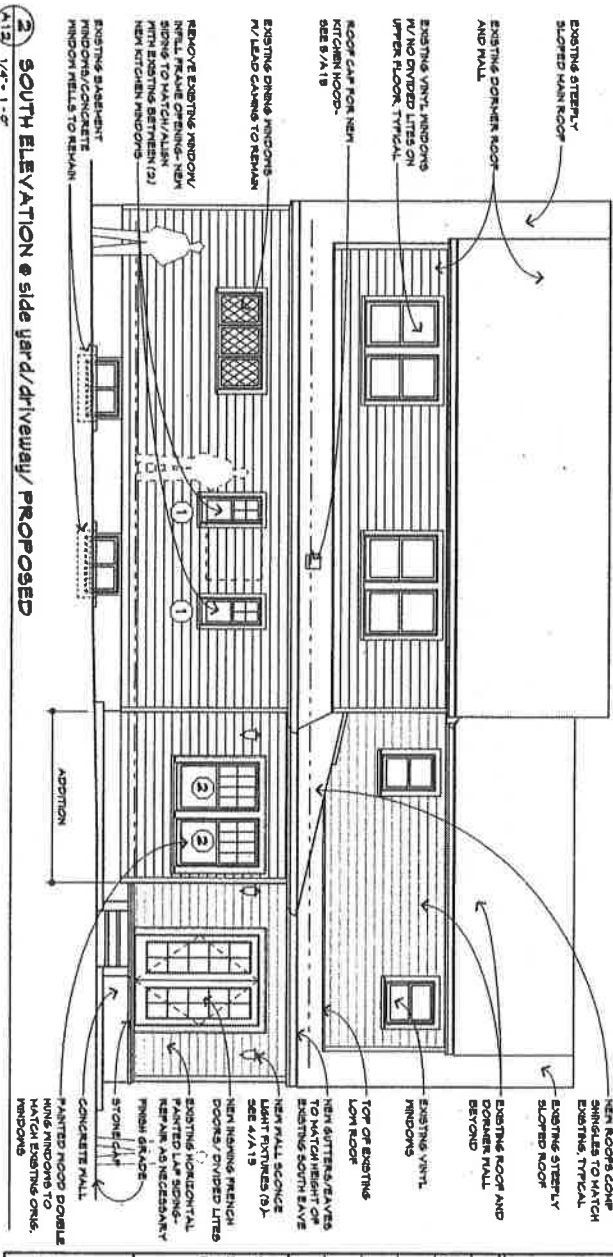
NOT FOR CONSTRUCTION

CLEILAND RESIDENTIAL REMODEL 3140 NE 19th AVENUE PORTLAND, OREGON 97212 OWNER: Jan Cleiland		ARCHITECT: Rich Fertleman 121 N. 24th Street, 11th Floor Portland, Oregon 97204 (503) 228-1111 rich@fertleman.com
SHEET TITLE: EAST ELEVATIONS DRAWING AND PROPOSED	SHEET NUMBER: 13 OF 18	REVISIONS: NO. 1 DATE: 8/18/16 NO. 2 DATE: 9/21/18

A13



1 SOUTH ELEVATION • side yard/driveway/ EXISTING CONDITIONS
1/4" = 1'-0"



2 SOUTH ELEVATION • side yard/driveway/ PROPOSED
1/4" = 1'-0"

CLEILAND RESIDENTIAL REMODEL

3140 NE 19th AVENUE PORTLAND, OREGON 97212
OWNER: Jan Cleiland

ARCHITECT:
Rob Farthing
1015 NE 10th Ave
Portland, Oregon 97232
rob@robfarthing.com
robfarthing.com

NO.	REVISION	DATE
1	REV	8/18/19
2		9/21/19

SHEET TITLE	SOUTH ELEVATIONS
EXISTING AND PROPOSED	
SHEET NUMBER	12 OF 18
A12	