



City of Portland, Oregon
Bureau of Development Services
Land Use Services
FROM CONCEPT TO CONSTRUCTION

Chloe Eudaly, Commissioner
Rebecca Esau, Director
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Date: March 14, 2018
To: Interested Person
From: Emily Hays, Land Use Services
503-823-5676 / Emily.Hays@portlandoregon.gov

NOTICE OF A TYPE I PROPOSAL IN YOUR NEIGHBORHOOD

Development has been proposed in your neighborhood. The proposed development requires a land use review. The proposal, review process, and information on how to respond to this notice are described below. A copy of the site plan and zoning map is attached. I am the staff person handling the case. Please call me if you have questions regarding this proposal. Please contact the applicant if you have questions regarding any future development on the site.

Because we must publish our decision within 21 days, **we need to receive your written comments by 5 p.m. on March 28, 2018.** Please mail or deliver your comments to the address at the bottom of the page, and include the Case File Number, LU 17-241644 HR, in your letter. It also is helpful to address your letter to me, Emily Hays. You can also e-mail your comments to me at my e-mail address identified above.

CASE FILE NUMBER: LU 17-241644 HR – PORCH ALTERATIONS

Applicant/Owner: Eli Blackman
3235 NE 15th Avenue
Portland, OR 97212
eliblackman@gmail.com

Site Address: **3235 NE 15th Avenue**

Legal Description: BLOCK 69 LOT 2, IRVINGTON
Tax Account No.: R420414830
State ID No.: 1N1E26AB 11100
Quarter Section: 2732

Neighborhood: Sabin Community Assoc., contact Rachel Lee at 503-964-8417, Irvington, contact Dean Gisvold at 503-284-3885.

Business District: Soul District Business Association, contact at outreach@nnebaportland.org

District Coalition: Northeast Coalition of Neighborhoods, contact Jessica Rojas at 503-388-5030.

Plan District: None

Other Designations: Non-contributing Resource in the Irvington Historic District

Zoning: R5 – Residential 5,000 with Historic Resource Protection Overlay
Case Type: HR – Historic Resource Review
Procedure: Type I, an administrative decision with appeal to the Oregon Land Use Board of Appeals (LUBA).

PROPOSAL:

The applicant is seeking Historic Resource Review approval for alterations to a non-contributing resource in the Irvington Historic District. Alterations to the front porch include:

- new cedar rails, balusters, and pickets;
- new cedar lap clad 12” x 24” column bases with trim at the north and south corners;
- new cedar lap clad 12” x 12” center column base; and
- four 6” x 6” columns with top and bottom caps, two at each corner base.

Historic Resource Review is required for non-exempt exterior alterations in the Irvington Historic District.

RELEVANT APPROVAL CRITERIA:

In order to be approved, this proposal must comply with the approval criteria specified in Title 33, Portland Zoning Code. The relevant approval criteria are:

- 33.846.060 G – *Other Approval Criteria*

Zoning Code Section 33.700.080 states that Land Use Review applications are reviewed under the regulations in effect at the time the application was submitted, provided that the application is complete at the time of submittal, or complete within 180 days. This application was submitted on September 15, 2017 and determined to be complete on March 9, 2018.

DECISION MAKING PROCESS

The Bureau of Development Services will make a decision on this proposal. We will consider your comments, and either:

- Approve the proposal.
- Approve the proposal with conditions.
- Deny the proposal.

We will mail you a copy of our decision only if you comment in writing to us at the City of Portland Bureau of Development Services, 1900 SW Fourth Ave., Suite 4500, Portland, OR 97201. There will be no public hearing.

The neighborhood association listed on the first page of this notice may take a position on this application. They may also schedule an open meeting prior to making their recommendation to the Bureau of Development Services. Please contact the person listed as the neighborhood contact to determine the time and date of this meeting.

The file and all evidence on this case are available for your review by appointment only. Please call the Request Line at our office, 1900 SW Fourth Avenue, Suite 5000, phone 503-823-7617, to schedule an appointment. I can provide some information over the phone. Copies of all information in the file can be obtained for a fee equal to the cost of services. You may also find additional information about the City of Portland and City Bureaus, as well as a digital copy of the Portland Zoning Code, by visiting the City’s homepage on the Internet at www.portlandonline.com.

ORS 227.178 states the City must issue a final decision on Land Use Review applications within 120-days of the application being deemed complete. The 120-day review period may be extended at the request of the applicant.

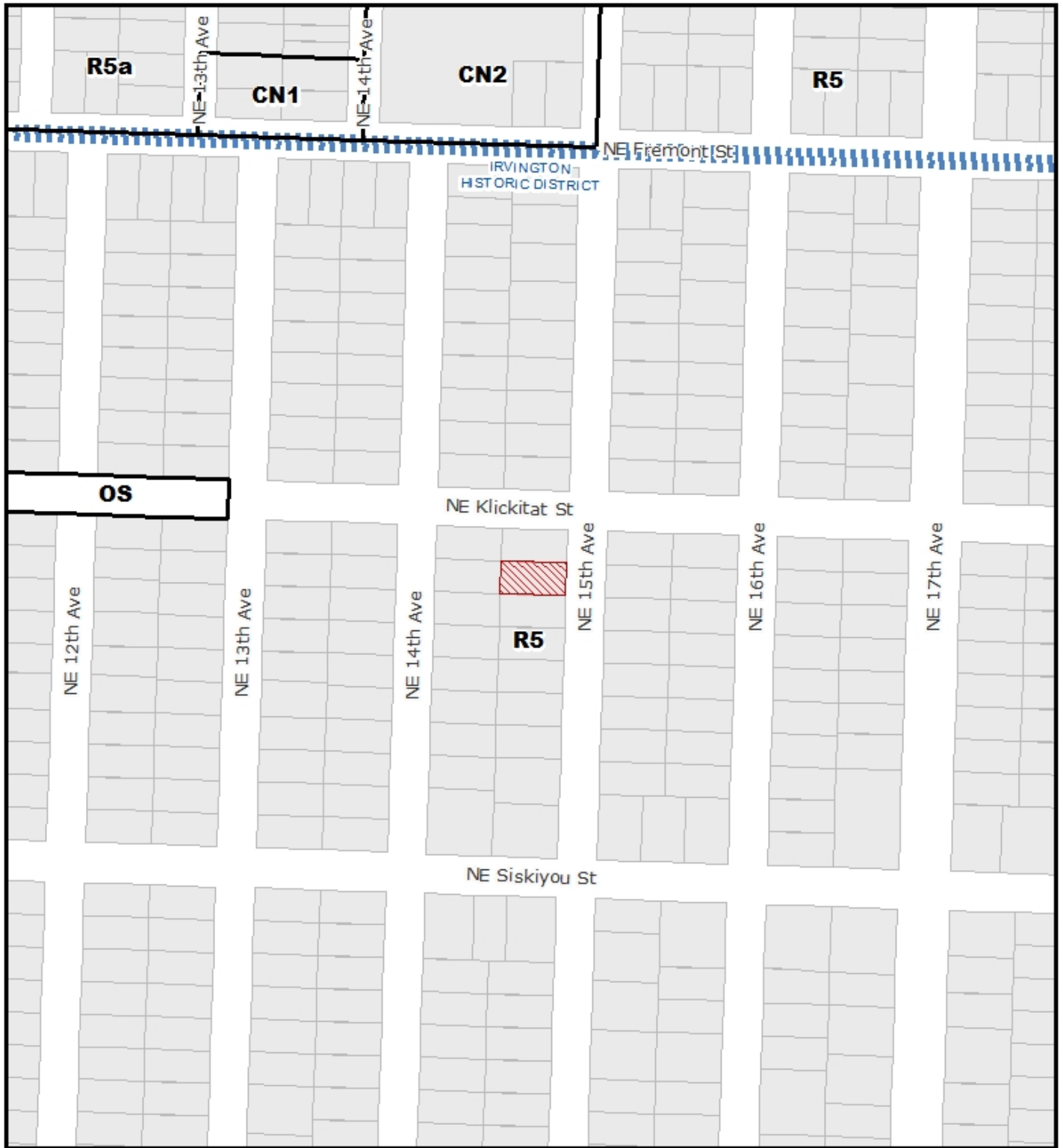
APPEAL PROCESS

If you disagree with the Bureau of Development Services administrative decision, you can appeal the decision to the Oregon Land Use Board of Appeals (LUBA) at 775 Summer St NE, Suite 330, Salem OR 97301-1283. The phone number for LUBA is 1-503-373-1265. Issues which may provide the basis for an appeal to LUBA must be raised in writing before the deadline for comments, or you may not be able to raise that issue in an appeal. If you do not raise an issue with enough specificity to give the Bureau of Development Services an opportunity to respond to it, that also may preclude an appeal to LUBA on that issue.

The Bureau of Development Services is committed to providing equal access to information and hearings. Please notify us no less than five business days prior to the event if you need special accommodations. Call 503-823-7300 (TTY 503-823-6868).

Enclosures:

Zoning Map
Site Plan
East Elevation



ZONING

NORTH

THIS SITE LIES WITHIN THE:
IRVINGTON HISTORIC DISTRICT



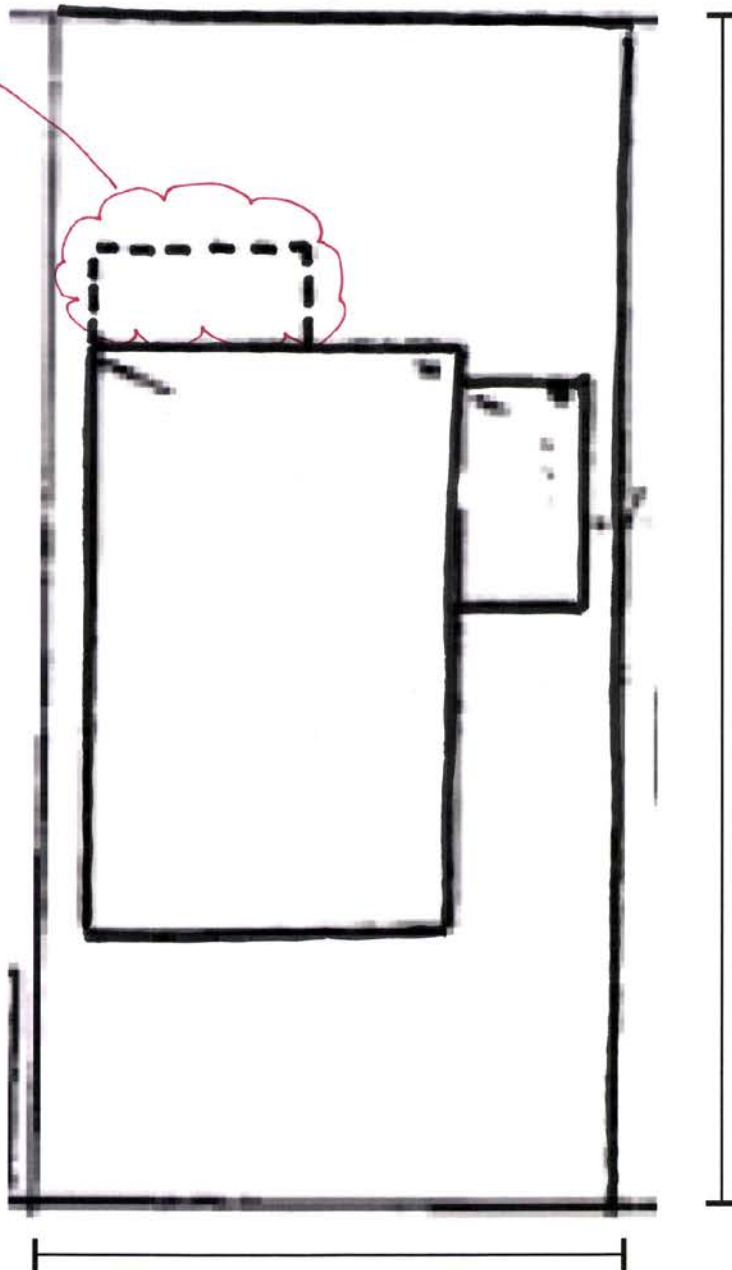
Site

File No.	LU 17-241644 HR
1/4 Section	2732
Scale	1 inch = 200 feet
State ID	1N1E26AB 11100
Exhibit	B Sep 20, 2017



NE 15th Avenue

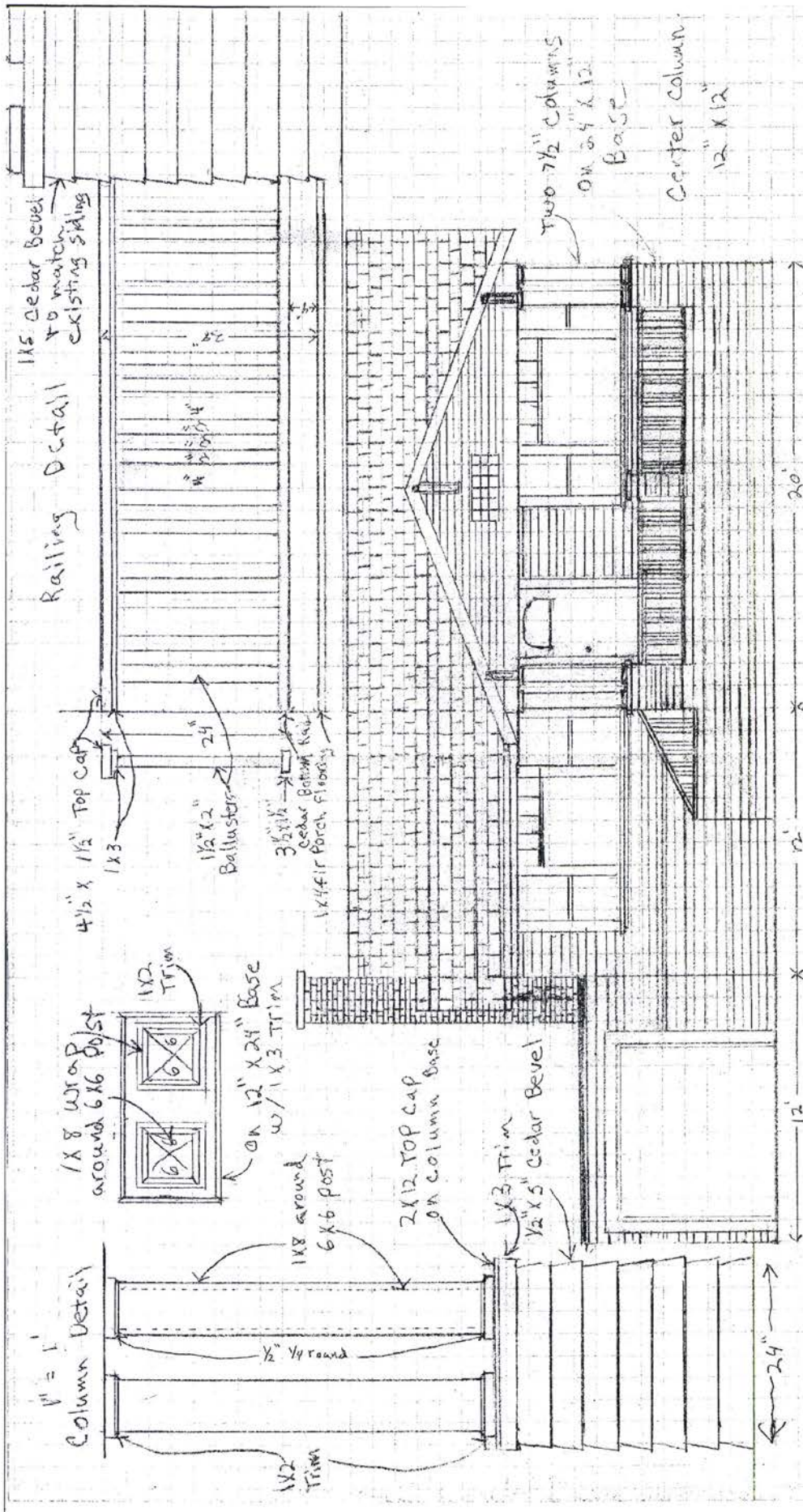
AREA OF
WORK



100'

50'

LU17-241644 HR



Railing Detail

1x5 Cedar Bevel
to match
existing siding

4 1/2 x 1 1/2" Top Cap

1 1/2 x 2" Ballusters

3 x 1/2" Cedar Bottom Rail
1 x 4 fir Porch Flooring

1 x 8 wrap post
around 6 x 6 post

1 x 2 Trim
ON 12" x 24" Base
w/ 1 x 3 TRIM

Column Detail

1 x 8 around 6 x 6 post

1 x 2 Trim

2 x 12 TOP CAP
ON COLUMN BASE

1 x 3 Trim
1/2 x 5" Cedar Bevel

Two 7 1/2" Columns
ON 24" x 12" Base

Center Column
12" x 12"

EAST ELEVATION. 1/4" = 1'-0"

BLACKMAN RESIDENCE,
PORCH RAIL & COLUMN DETAILS
1" = 1'-0"